

ARCHITECTURAL REQUIREMENTS

The purpose of the Architectural Review Committee (ARC) is to preserve the tradition of the existing character of the Huntington Palisades. The ARC is composed of three licensed or registered architects certified in the State of California. Approval must be given by at least two of the members of the committee.

The Huntington Palisades consists of the properties in Tracts 6753, 9377 and 12188. There are homes along Chautauqua Boulevard and Alma Real Drive that are not part of those Tracts. ARC considers the Huntington Palisades to be divided into two zones: the east side of Chautauqua Blvd. (the East Zone) and the area west of Chautauqua Blvd. (the West Zone).

If you are planning to build a new home or remodel an existing one or do a Minor Project (see Minor Project, at Article 13 below), or construct other improvements, the following requirements must be adhered to. The applicable requirements for each project are those in effect when a fully completed application and full payment of the required fee are received. The requirements will be used by the ARC in conjunction with application of the CC&Rs when reviewing your drawings, specifications and other information.

Whenever the aggregate value of a remodel exceeds 50% of the replacement cost of the dwelling or accessory building being remodeled or increases the square footage of all buildings on the property by 50% or more or whenever a new dwelling is constructed, all requirements must be met (no grandfathering rights). Please note that:

- 1. ARC may disapprove plans that comply with these requirements, if in the sole, good faith judgment of ARC the plans suggest an element of the proposed design or construction that will be inconsistent with other homes (buildings or grounds) in the neighborhood of the Huntington Palisades in which ARC determines the property is situated.**
- 2. ARC in its sole and absolute discretion may allow less than full compliance with a requirement, when extraordinary physical conditions exist.**
- 3. No demolition, grading or construction may proceed, until the owner receives ARC's written approval of submitted plans.**

Any changes to HPPOC "approved" plans must be submitted and approved prior to construction. If the project is not constructed per the approved drawings, the \$5,000 deposit will be forfeited and you will be responsible for reimbursing the HPPOC for any legal fees and/or judgment. Prior to the return of the deposit, the project architect shall submit a letter stating that based upon their observations during construction, and their communications with the owner and builder, the architect is not aware of any deviations between the approved HPPOC drawings and the as-built construction. In addition, owner must submit certification from a licensed surveyor that the home, as constructed, was built within the approved setbacks, and the height envelope approved for the project by the HPPOC. The following are the specifics of the Requirements

1. **CHARACTER:** When considering the appropriateness of any proposed design, particular attention will be given to architectural style, color, texture and materials. All new construction, as well as remodels, shall be compatible with the scale and elements and architectural character of the zone of the Huntington Palisades in which the property is situated. The preceding sentence shall not prohibit remodeling of an existing house and/or additions thereto that conform to the architectural character of such existing house.

- a. **In the West Zone,** no modern or contemporary architectural designs will be permitted if they substantially vary from the architectural styles already established in the zone.
- b. **In the East Zone,** more design variations may be considered at the discretion of ARC, provided that there shall be a 50-ft front yard setback and 10-ft side yard setbacks.
 - i. **ARTICULATED FRONT FACADES ARE REQUIRED:** Not less than twenty-five percent (25%) of the width of a façade must either project or be set back a minimum twenty percent (20%) of building depth or eight (8) feet, whichever is less, from the remainder of the front elevation. Articulation of a 2 story high massing is not required. Articulation of just a first or second floor may be set back or project from the other floor above or below.
 - j. **ARTICULATED ROOF LINE:** Monolith shaped roofs are not to be permitted. Break up the roof line with hipped roofs, gables or other elements.

2. **BUILDING ENVELOPE:** The building envelope is the volume within which a structure, other than fences and walls, must be constructed within the Huntington Palisades. A schematic drawing indicating the most common building envelope is attached. In addition, construction must comply with all other requirements.

- a. **Front Yard Setback:** 20'-0" minimum or as specified elsewhere in CC&Rs, whichever is greater.
- b. **Rear Yard Setback:** Except for a one-story detached garage, no structure may be constructed within 5' of the rear yard line. The rear setback for other structures shall be 15'0"; however, construction may take place in the rear 15'-0" setback area not higher than a line beginning 6'-0" above the rear property line extending upward at a 6:12 pitch to the previously defined 15'- 0" rear yard setback line. Outbuildings or detached garages, shall be built in the rear one-third of the site, within the setbacks, within the envelope, not exceeding 40'-0" in width and 26'-0" in depth, shall be detached from the main structure by 10'-0" or more. ARC, after site review, may impose more restrictive requirements based on lot size and configuration.
- c. **Side Yard Setback:** 5'-0". Chimneys, fireplace structures, other appendages or mechanical equipment (i.e., pool equipment, fans, HVAC equipment, etc.) may not be located in or protrude into any side yard setback. The side setback is the entire length between the front and rear property lines.
- d. **Side Yard Setback-Corner Lot:** The setback from a side yard street shall not be less than 20'-0" or the prevailing setback on the block if less than 20'-0".
- e. **Setbacks for Combined Lots:** The side setback for a side-by-side double lot shall not be less than 10 feet. The side setback for a back-to-back double lot shall not be less than 7' 6". The front setback for a back-to-back double lot shall be no less than 30 feet. However, the ARC shall have the discretion to except applicants from this requirement where the location or topography of the combined lots results in lower visibility of the proposed

structures from the parklets, street or neighboring homes. If an owner purchases or the property includes a small portion of a neighboring lot(s) and the end result is that the combined lots are no larger than 10% of the originally-owned or larger lot, the ARC is to exempt applicants from this restriction.

- f. **Height:** No more than two stories, 22'-0" at above described front and side yard setback lines, extending upwards into the building envelope as follows:
- i. **From the front and rear setback lines**, the 22'-0" maximum allowed height may extend upward at a 6:12 pitch toward the center of the property to the defined maximum height.
 - ii. **From both the side yard setback lines**, the 22'-0" maximum allowed height may extend upward at an 8:12 pitch toward the center of the property to the defined maximum height.
 - iii. **Chimneys** are allowed to extend a maximum of 2' above the defined maximum height. No building appendages other than chimneys are allowed to extend upward above the defined maximum height.
 - iv. **No more** than 5% of the roof area (plan view) may be above the sloping height envelope, provided that the height does not exceed the maximum allowable building height.
- g. **Height Reference Datum Elevation:** For the main house only, it is the average of the two existing grades at the intersection of the front yard setback line and the two side yard setback lines. For accessory structures, the datum elevation is the natural grade elevation or proposed grade, whichever is lower, average at the four corners of the proposed accessory building.
- h. **Buildable Lot Area:** Shall exclude those portions of the lot that have an existing slope of 2:1 or greater. The buildable lot area shall not be reduced by the yard setback areas.
- i. **Maximum Height:** Shall be defined by the buildable lot area of the lot as follows:
- i. **28'** for lots 9,000 sq. ft. or less in buildable lot area.
 - ii. **30'** for lot areas above 9,000 sq. ft. of buildable lot area but not more than 15,000 sq. ft. of buildable lot area.
 - iii. **32'** for lot areas more than 15,000 sq. ft. of buildable lot area.
- j. **Survey:** For new construction and second story additions, a survey must be provided at the end of the framing which shows the first floor elevation and the elevation of the highest portion of the roof.

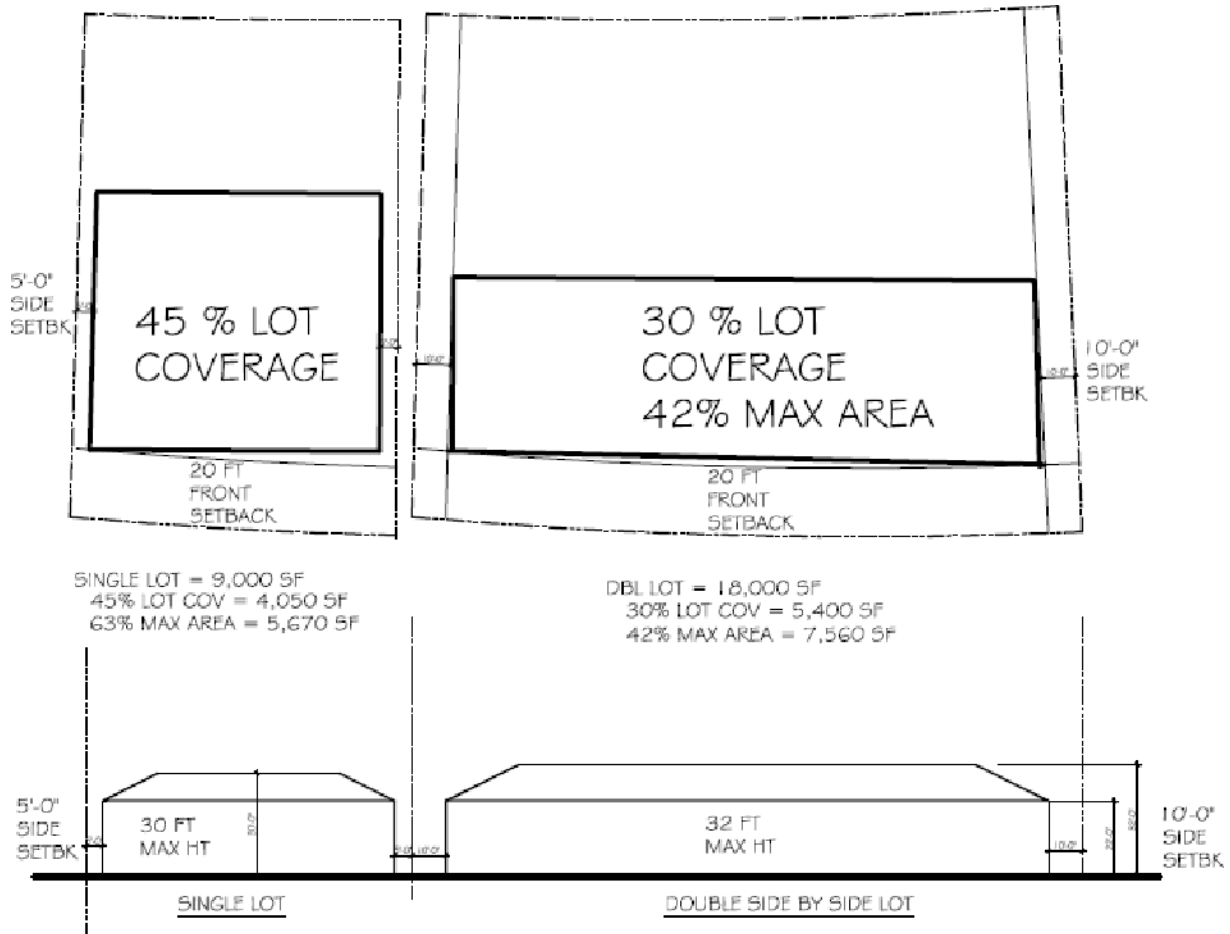
3. MAXIMUM SITE COVERAGE AND MAXIMUM SQUARE FOOTAGE: The total lot area coverage of all above grade structures of any kind, for single lots, may be no more than 45% of the buildable lot area (defined above). The total square footage of all structures combined shall be referred to herein as the "Floor Area." The Floor Area for single lots shall not exceed 63% of the buildable lot area.

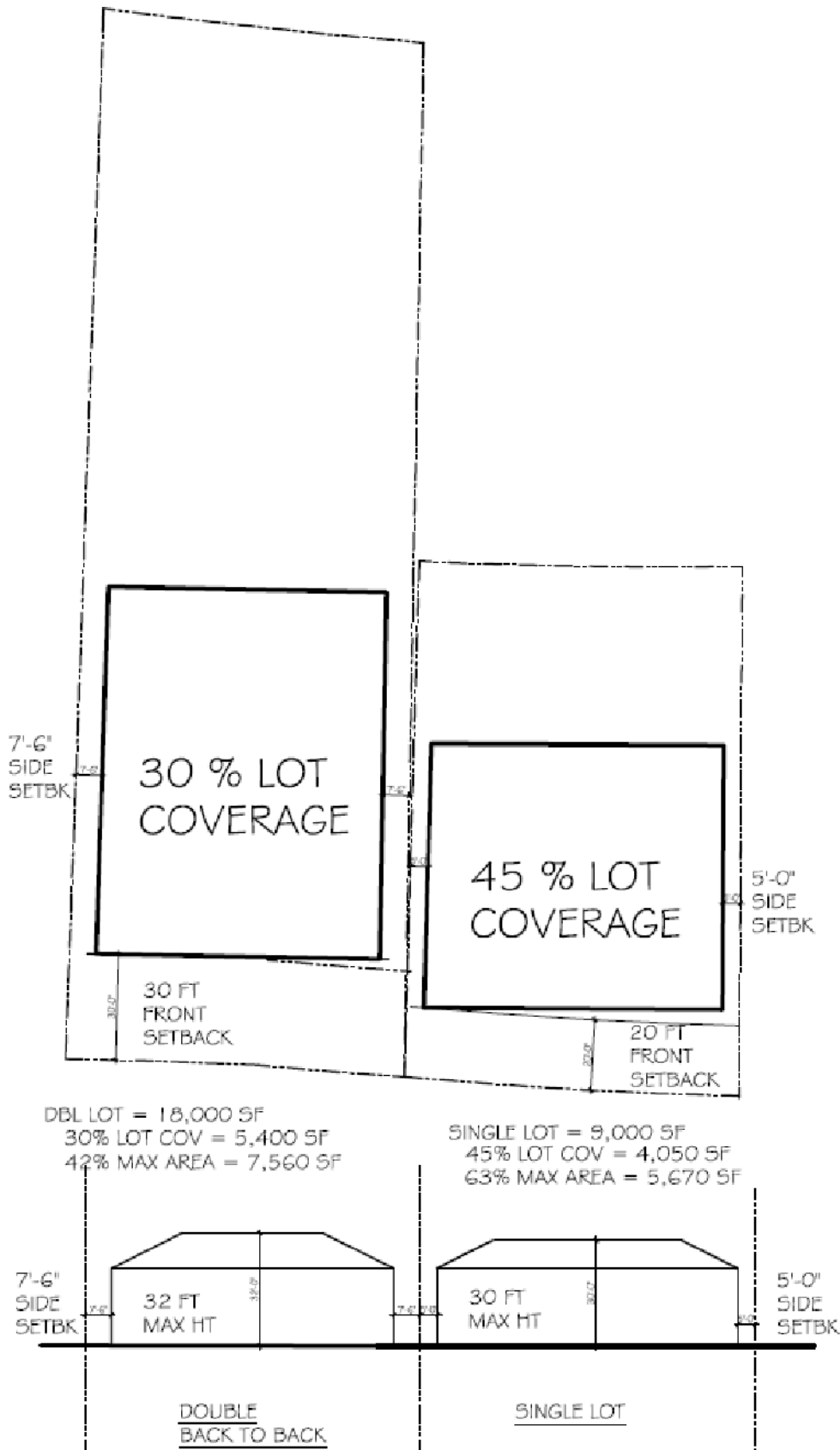
If two (2) or more existing lots are being combined to accommodate a single project, the Floor Area shall not exceed 30% lot coverage and 42% total area of the total combined buildable lot area. The single area percentages may be used for only the larger lot (of the combined lots), as an option, in lieu of the reduced lot coverage and Floor Area requirements. However, the ARC shall

have the discretion to except applicants from this guideline where the location or topography of the combined lots results in lower visibility of the proposed structures from the parklets, street or neighboring homes. Further, the ARC will exempt applicants from these requirements where the combination of more than one lot results in a combined lot square footage which is no more than 10% larger than the originally-owned lot or larger lot.

The Floor Area shall be calculated from the outside face of finish of the walls of all structures. Floor Area shall include without limitation the floor area of all balconies, porches, terraces, decks and similar features of the structure that are covered by an extension of the roof, over-hanging floors, or eaves. Under eave areas need not be counted where the length of the eaves over the balconies, porches, decks and similar features is no more than the typical length of the eaves around the other parts of the structure.

- a. **Any** and all interior open areas, which include without limitation, stairwells are counted as area on each floor. Unobstructed space extending more than 15 ft. from any floor to the ceiling above shall be counted twice (double the floor area).
- b. **Basements** complying with the City's definitions and requirements for basements shall not be counted in the Floor Area for allowable square footage, however basement area shall be counted for fees and parking requirements. Basements must comply with requirements 4 and 5 below.
- c. **No portion** of a basement shall extend more than five (5) feet beyond the first floor footprint.
- d. **Up to 250 sq. ft.** of a one-story high porch facing one or two streets will not count as area.





4. **THIRD STORIES:** No part of the building shall be used for any habitable purpose above the second floor. There shall be no fixed stairway to the attic level above a second floor and no elements that give the appearance of a third story such as windows, access to flat (or nearly flat) roof areas, and any other feature that suggests, in the sole discretion of the ARC, a present or future third story condition. No structure shall have the appearance of three stories from any street or public right of way. Features visible from the street such as basement garages with two stories above or high foundation walls creating a similar appearance are disallowed. No exterior stairway shall be visible from any street or public place. No roof decks above a second floor are allowed.

a. **Exception:** Dormers with windows not larger than 2 ft. x 2ft, and having an overall dimension not greater than 3 feet wide and 3ft. 6 inches high (to exterior face of wall finish and top of roof), shall not be considered a 3rd story, provided that the top of the house roof does not exceed 6 ft. 6 inches above the second floor plate. The space behind a dormer may not be illuminated.

5. GARAGES AND PARKING:

a. **Garage:** A garage or other outbuilding on any lot shall be of construction and architectural type similar to the residence on the lot. Carports are disallowed. Entrances to subterranean garages shall not face front yards. Drives descending along a side yard next to an adjacent residence shall be set back sufficiently for a 4-ft wide grade level planting area between the depressed drive and the adjacent property line.

b. **Minimum On-Site Parking.** Each lot must contain adequate and useable on-site parking. Basement area shall be included with the structure area in determining the parking requirements. The following are minimums. Whenever the Floor Area (as defined in requirement 3) is less than 4900 sq. ft., on-site parking shall be no less than two side-by-side spaces in a garage plus the ability to park two additional full-sized vehicles on fairly level ground outside the garage. Whenever the Floor Area is more than 4900 sq. ft. and less than 7000 sq. ft., there shall be no less parking on-site than, two side-by-side spaces in a garage, plus the ability to park three additional full-sized vehicles on fairly level ground outside the garage. Whenever the Floor Area is 7000 sq. ft. or more, there shall be no less parking on-site than, three side-by-side spaces in a garage, plus the ability to park three additional full-sized vehicles on fairly level ground outside the garage.

6. **AREAWAYS AND BASEMENTS:** Areaways (including areaway surrounding retaining walls) providing light and ventilation only shall be a maximum of 12'-0" in length, and 4'-0" in width. Areaways used for basement exit stairs shall have landings no greater than 4'-0" in width and shall have a length no more than necessary under City requirements for the rise of the stairway. Areaways along the same side yard setback or the rear yard setback shall be separated a minimum of 10'-0". Areaways shall not project into side yard setbacks. Areaways are not permitted in the front yard setback. No portion of a basement shall extend more than five (5) feet beyond the first floor footprint.

7. ROOFS, DECKS, BALCONIES, AND EXTERIOR STAIRS:

a. Roof slope: 75 percent of the roof must be sloped. Slope is defined as having a 3 in 12 pitch or greater. Anything less is considered flat. Any flat portion shall not be visible from a right-of-way. Eaves may extend no more than 2 feet into setbacks.

b. Flat roof areas shall be located within roof wells. They are limited to second floor roofs and cannot be visible from any direction. Use of such roof areas shall be limited to mechanical equipment such as for air conditioning, fan housings, and other related devices. Such equipment or devices shall not be visible from any direction. The total computed area of flat roofs shall include decks as defined in 3.c below.

c. Decks (on street frontages): A deck is defined as a flat roof area above interior building space which may be capable of being used for human occupancy. The maximum total area of such deck(s) shall be 250 sq. ft. per frontage.

d. Balconies: Defined as any platform enclosed by an open or solid railing or balustrade, and which projects from the face of a building, cantilevered or supported by brackets. The maximum projection of a balcony facing front and/or side yards only, shall be 6 feet, but may not protrude into the applicable setbacks.

e. Roofing Materials: Clay or concrete tile, simulated wood or slate types, or fiberglass shingle graded 280 lb. or above are acceptable, provided, in the sole discretion of the ARC, the color is compatible with the character of the Huntington Palisades. The ARC, in its sole discretion, may approve other roofing materials. Non-glare metal roofs may be used on architectural features, such as bays, if the metal roof area does not exceed 5% of the roof area.

f. Exterior Stairs: Stairs must be enclosed and supported by walls on all sides. Exterior finish of walls must match house exterior walls. Open risers are not allowed. Stairs shall not be visible from the street or public exposure.

8. SKYLIGHTS OR SOLAR PANELS: Subject to existing laws, solar panels, plastic bubble and solar tube skylights which can be seen from any street or public place are not acceptable.

a. Flat glass skylights following the pitch of the roof, and having a finish color similar to the roof, may face the front and public place.

b. Solar energy system panels should not face any street or public place, if possible, but are so allowed with reasonable restrictions as defined by California Civil Code-Section 714 and related code sections. If you desire to have the panels face a street or public place and are allowed pursuant to the reasonable restrictions noted above, they still must meet the architectural character of the zone of the Huntington Palisades in which the property is situated.

9. ANTENNAE, COMMUNICATION TRANSMISSION EQUIPMENT: Except for standard size television antennae and mini satellite receivers (3 ft. diameter max.), and subject to existing law no towers, antennae, aerials, or satellite dishes for the reception and/or transmission of radio, television broadcasting or other means of communication shall be visible from any street or right-of-way, and are not to be located in the side yard setbacks.

10. **FENCES, GATES, WALLS AND HEDGES:** Fences and walls shall also include latticework, ornamental fences, screen walls, hedges or thick growth of shrubs or trees. Chain link fence visible from any public right of way is not permitted.

a. **Measurement:** Fence, wall and hedge heights shall be measured from existing grade level adjacent thereto.

b. **Within 20'** of the front property line and along corner lot side yards, the height shall not exceed 3'-6". The height of fence posts, wall posts or columns, including finials or light fixtures attached thereto, shall not exceed 4 ft. where a 3'-6" maximum height is required. Their widths or diameters shall not exceed 24-inches.

i. Rose arbors at the front property entrance openings are permitted to a maximum height of 7'-0" and a width of 5'-0" outside of the arbor.

c. **Applications** for fence, gate, wall and hedge variances along Sunset and Chautauqua Boulevards will receive special consideration.

11. **SIGNAGE:** The CC&Rs provide: No more than one sign for advertising or for any other purpose shall be displayed on any lot or any building or structure constructed on such lot, and such sign shall not be greater in outside dimension than 24x36 inches. **Violations of this rule are subject to fines in accordance with the Schedule of Fines on Owners for Violations of HPOC's Architectural Requirements, Paragraphs 11 and 15.**

12. **SPECIAL CONDITIONS FOR PAMPAS RICAS BOULEVARD:** Any building to be constructed on any lot abutting Pampas Ricas Boulevard shall have its main entrance facing the intersection of said Pampas Ricas Boulevard with the adjacent street crossing same thereby creating two front yard setback requirements. No drive, kitchen or service entrance will be allowed which diminishes the Grand Entrance Avenue of Pampas Ricas Boulevard. These determinations shall be made in the good faith judgment of the ARC.

13. **MINOR PROJECTS:** The following are Minor Projects which require ARC approval: roof change, repainting of exterior, window and/or exterior door change out; addition of shutters, awnings, or comparable architectural feature; barbecue; small canopy; other small projects not intended for occupancy by person or animal or for storage.

14. **EVIDENCE OF CONTINUING COMPLIANCE REQUIRED:** When reasonably required by ARC or its representatives, the owner at his/her expense will furnish documentary and verifiable evidence of owner's compliance with these requirements and with the owner's approved plans.

15. **GOOD NEIGHBOR RULE:** All phases of construction activities on or about a lot must be conducted on a basis fully consistent with the principles of being a good and safe neighbor. Each owner shall, without limitation:

- a. **Limit** construction hours to 7am-6pm during the week, 9am-5pm Sat. and **ABSOLUTELY NO CONSTRUCTION ON SUNDAYS OR HOLIDAYS.**
- b. **Limit** construction noise to the minimum necessary. Limit noise not directly related to construction to the level of normal conversation. Without limitation; no loud radios or other high volume producing sound systems.
- c. **Keep** site clean and orderly (this includes keeping all gutters clean and free of

debris). This also includes keeping sidewalks repaired and safe at all times. Construction debris shall be disposed of either in a commercial dumpster, or other appropriate receptacle on site. At no time should construction debris be discarded in an uncontained pile on job site.

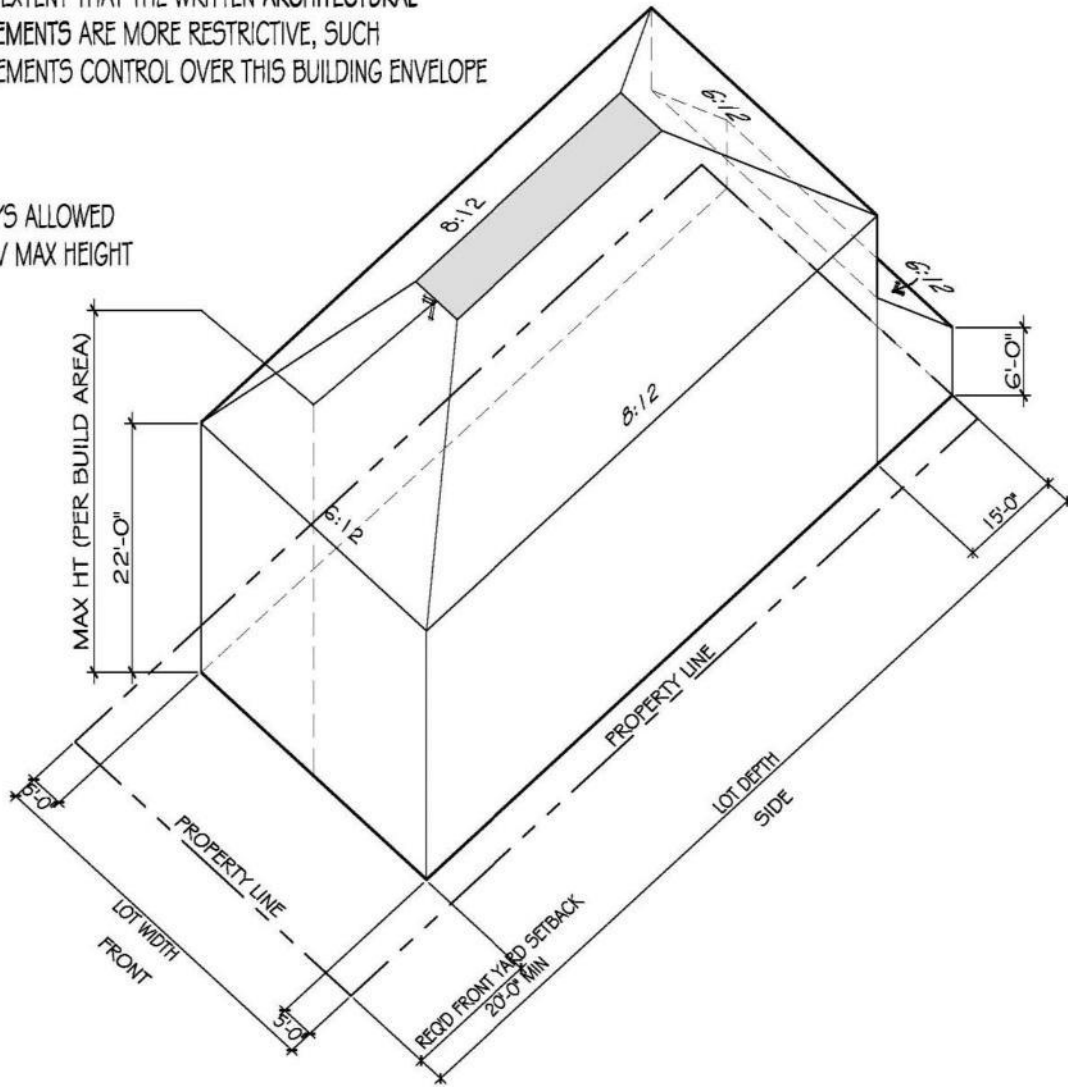
- d. **It** is the contractors' responsibility to control dust. All dirt piles must be completely covered with plastic sheeting or tarps. Irrigation of loose dirt may be a solution, however any solution must be effective 24 hours a day, seven days a week. If excavation by a homeowner's contractor creates mud, dust and debris on the street, contractor must clean the street and return it to pre-existing condition.
- e. **A** construction fence must be kept up throughout all phases of construction. If work does not require a construction fence, care should be taken to maintain landscape in a neat, presentable manner.
- f. **All** building materials and equipment shall be stored on the site, off the street, parkway and sidewalk.
- g. **In** the event that a home is unoccupied prior to construction, the Association **STRONGLY** recommends hiring a security patrol firm to check on the work site at night, so as to avoid trespassers. The HPPOC further recommends leaving exterior lights on at night and maintaining the property's landscape. The HPPOC would also **STRONGLY** recommend retaining a security patrol company during construction as well.
- h. **Temporary** restroom facilities ('port-a-potties') should be placed out of sight from street view. If it is not possible to place these temporary facilities in the side yard or back yard, homeowners must screen the facility with covered fencing.
- i. **Contractors** must keep job site and parkways clean of food and debris. If workers are eating way from the job site near vehicles or sidewalks/streets, all food and trash should be discarded properly, immediately after each use.
- j. **Each** owner, not the Association, shall be responsible for monitoring and compliance of this Paragraph 15.

16. LANDSCAPING:

- a. Generally, if a full-size parkway tree is proposed to be removed, the applicant will be required to replace the tree with a minimum of a 36" box tree. Exceptions may be made for special circumstances (e.g., a mature tree will result in interference with pedestrian or driver line of sight at a street intersection).
- b. **50% Landscaping in Required Front Yard:** At least 50% of the required front yard must be planted areas; not paving or other hardscape.

NOTE:
TO THE EXTENT THAT THE WRITTEN ARCHITECTURAL
REQUIREMENTS ARE MORE RESTRICTIVE, SUCH
REQUIREMENTS CONTROL OVER THIS BUILDING ENVELOPE

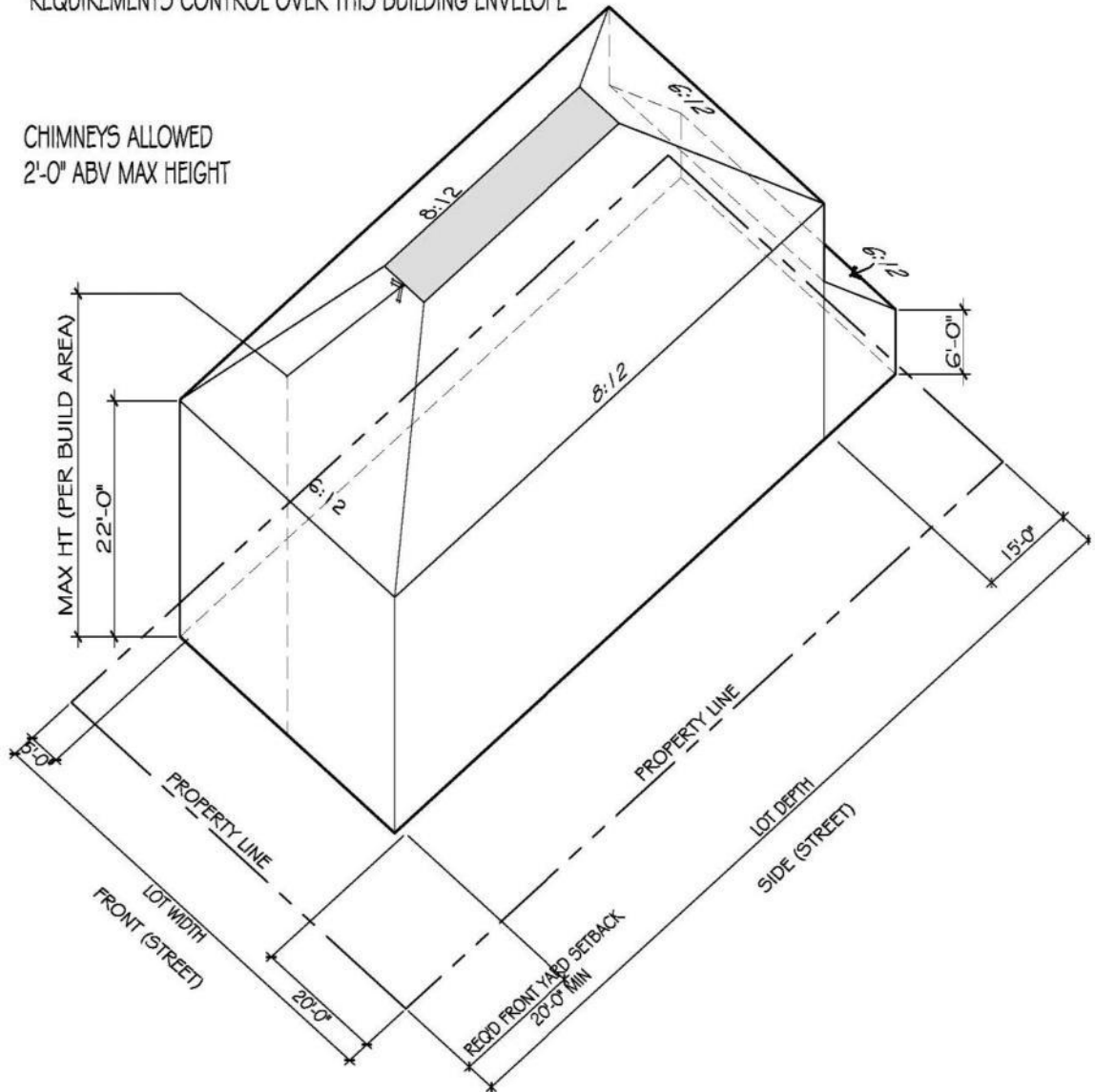
CHIMNEYS ALLOWED
2'-0" ABV MAX HEIGHT



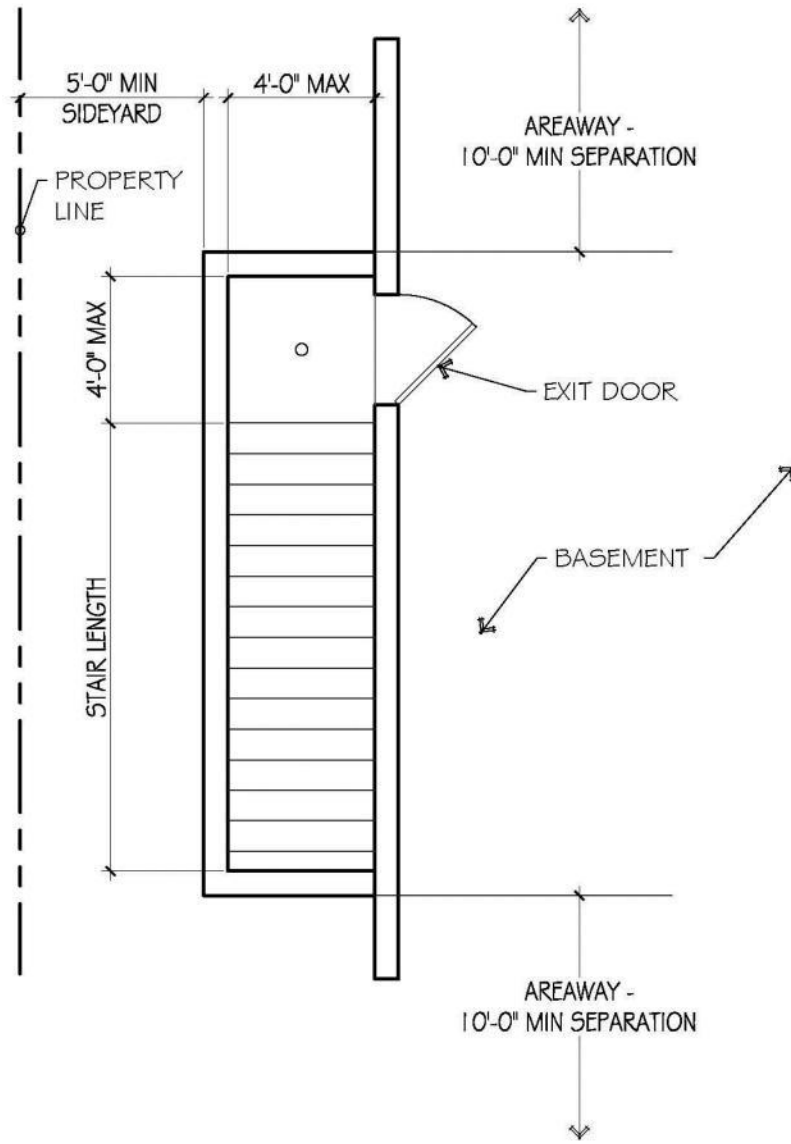
BUILDING ENVELOPE

NOTE:
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CHIMNEYS ALLOWED
 2'-0" ABV MAX HEIGHT



BUILDING ENVELOPE (WITH STREETS AT TWO SIDES)



AREAWAY - EXIT STAIR PLAN
 SCALE: 1/4" = 1'-0"